



LIBERTY LANDING

ARCHITECTURAL DESIGN GUIDELINES

VERSION 3.2
August 2017



LAMONT
RESPECTING LAND & PEOPLE

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1.0 Introduction

Liberty Landing is a residential development in Red Deer County, located in Gasoline Alley West. The long-term vision of Liberty Landing is to create a complete community with live, work, and play opportunities as defined in the Gasoline Alley West Urban Design Plan.

To ensure a consistent level and quality of housing in Liberty Landing, the Developer (Lamont Land Inc.) has developed Architectural Design Guidelines and assigned a Design Review Consultant (DRC) to review each house plan created by Builders/Designers. Conformity to these Guidelines is intended to enhance the exterior presentation of each house, ultimately strengthening the aesthetics of the community and all streetscapes.

1.1 ARCHITECTURAL DESIGN GUIDELINES OBJECTIVE

The objective of the Liberty Landing Architectural Design Guidelines is to provide descriptive guidelines that help Builders/Designers achieve the highest standard of visual appeal possible for houses constructed; thereby enhancing the visual streetscape and overall look of the community. Builders/Designers are to follow these Guidelines when designing new houses and accessory buildings such as garages.

The DRC will approve all house plans to address design-related issues with the Builders/Designers prior to any construction. The DRC will review the application on behalf of the Developer and will recommend approval or re-submission based on its compliance with the Guidelines.

It is the responsibility of the Builders/Designers to become familiar with these Guidelines and design their house(s) in accordance with them.

An approved stamped package will be provided by the DRC on submitted drawings upon final review and approval. The Builders/Designers must submit the approved package when applying for a Development Permit and Building Permit to Red Deer County. Conformity with these Guidelines does not supersede the required approval process of Red Deer County, which includes obtaining the appropriate permits to construct a house and inspections of the appropriate Red Deer County Building Inspectors, etc. Construction may only begin upon approval of a Building Permit from Red Deer County and Building Grade Certificate which is prepared by the Consulting Engineer.

1.2 HOUSING CONCEPT

The Liberty Landing community is comprised of a variety of housing products. By providing a variety of lot sizes and housing types, a range of residents will call Liberty Landing home. These Guidelines do not attempt to dictate any one particular design style; they are intended to encourage Builders/Designers to draw inspiration from a variety of architectural styles to develop designs that both suit the homeowner's personality and add richness to the streetscape.

2.0 Site Planning

2.1 HOUSE PLACEMENT

- All site design in Liberty Landing must conform to the Red Deer County Land Use Bylaw.
- Each house must be placed perpendicular to the road, rather than angled in the lot, parallel to one of the side property lines.
- All houses located on pie lots or in cul-de-sacs should be sited in a radiating pattern.
- Builders/Designers are to choose house designs based on the grading and site topography in order to take full advantage of views and to maximize the lot space. Builders/Designers should take into consideration the lot width, length, and shape to allow houses to conform to these dimensions.
- Builders/Designers are to review the Building Grade Certificate prior to house design to ensure the proposed house is compatible with the desired lot.

2.2 SETBACKS

- Houses are to be sited in accordance with the Red Deer County Land Use Bylaw.
- Front/Rear Yards: In situations where lots may allow for a variety of front setbacks, houses shall not exceed a 7.5m setback.
- Side Yards: Builders/Designers are encouraged to make the best use of all open spaces within their property.

2.3 BUILDING GRADES, LOT GRADES, AND RETAINING WALLS

- Building Grade Certificates are available for each lot and may be obtained from the Developer; lot grading is to conform to the Building Grade Certificate.
- Grades at the corners of the lots are not to be altered from those shown on the Building Grade Certificates.
- Any costs incurred due to changes from the approved Building Grade Certificates shall be the responsibility of the Owner/Builder; corrections must be done with the completion of the house.
- The landscaped grade of a lot should always slope away from the house, be integrated into the subdivision system of drainage, and not drain into the neighbouring lots.
- The landscaped building grade must be as shown on the Building Grade Certificate; however, the DRC reserves the right to approve adjustments.
- All costs associated with drainage (ie: retaining walls, wing wall on foundation, landscaping, etc.) shall be the responsibility of the Owner/Builder.
- It is the responsibility of the Builder/Designer to ensure compatibility with the adjoining lots; any changes must be approved by the Developer.

2.4 WALKWAYS AND DRIVEWAYS

- Minimal use of hard surfaces is encouraged; however, long lasting materials such as concrete, paving stones, and interlocking bricks are acceptable where deemed necessary (i.e. driveways, walkways, and patios). Crushed stone, shale, loose aggregate and asphalt are not acceptable materials for driveways and walkways.
- All driveways are to be broom finished as a minimum.
- The desirable driveway slope is 8% or less.
- Parking should be limited to the driveway only and should not extend into the side yard.
- Driveways and driveway aprons, where they intersect with a separated sidewalk, cannot be wider than the garage.
- Paired driveways, with aprons in the boulevard, must be spaced far enough apart to facilitate boulevard trees to be planted in between aprons.
- Side-loading garages may be permitted at the discretion of the DRC if there is adequate lot width and proper turning radius provided on the driveway.
- Triple car garages will be reviewed on a case-by-case basis.

2.5 LANDSCAPING AND FENCES

- All homeowners are encouraged to complete the fencing and landscaping of their yards within 12 months of occupying the residence.
- The Developer will provide a fence along the rear lot line of houses that back onto open spaces and public areas. (Fence locations are shown on the individual Phase Plans included in the Appendices of these Guidelines.)
- Additional landscaping information can be obtained from the Liberty Landing website.



LEGEND

	(SF) Attached Garage		(HD) Apartment		Out Parcel
	(SF) Small Lot		Municipal Reserve		Phase One Boundary
	(MD) Duplex		Environmental Reserve		Outline Plan Boundary
	(MD) Townhomes		Public Utility Lot		

3.0 Architectural Design

3.1 GENERAL

Houses must clearly demonstrate elements of a particular architectural style. Builders/Designers are to ensure that elevations have the minimum standards set out in these Guidelines.

Although Liberty Landing is open to a variety of architectural influences, design elements of two common styles are shown in **Section 3.1.1 Exterior Elements and Features** for the reference of Builders/Designers. In addition, examples of additional design elements can be found in **Section 3.1.2 Additional Design Elements**.

3.1.1 Exterior Elements and Features

Modern Prairie - Design Elements

- Max. 4:12 low-pitched hip roof
- Deep overhanging eaves
- Strong horizontal lines
- Roof extension or cantilevered projection at eaves
- Row of windows arranged in horizontal bands
- Use of natural materials
- Square columns
- Masonry base



Example of Modern Prairie Architectural Influence

Craftsman - Design Elements

- Min. 6:12 roof pitch
- Cross gable roofs
- Dormers with either a gable or shed roof
- Exposed rafters and/ or decorative brackets under eaves
- Beams or triangular knee braces
- Multiple window panes
- Front porch beneath extension of roof
- Square columns
- Tapered columns with a supporting larger base
- A high level of architectural detailing on doors, windows and gables
- Dark rich colours with contrasting trim



Example of Craftsman Architectural Influence

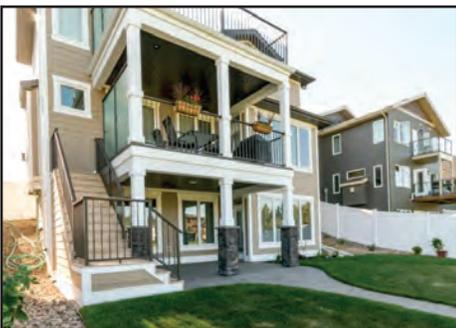
3.1.2 Elements to Consider

- Steep roof pitch with front facing gables
- Dual pitch roofs
- Angled or curved roofing
- Copper roofing elements
- Window shutters
- Shed or dormer windows
- Portico or porch
- Gable detailing
- Cedar shake detailing
- Vertical wood batten boards in gable ends
- Stone exterior chimneys
- Columns with heavy tapered stone bases
- Extensive stone work
- Timber trusses
- Tall vertical windows
- Wood blocks and/ or brackets



3.2 LOTS BACKING ONTO PUBLIC GREEN SPACE

- The rear elevation of lots backing onto green space or other high profile locations require the same level of Architectural detail as per the front elevation (ie. parks, walking path etc.).
- All windows visible from the rear elevation must have the same level of detail and match the front elevation.
- Rear gable treatment must match the front gables.
- Rear deck must be complete at time of house construction.
- Rear deck posts/ columns over 4'-0" in height must match front posts (including masonry).



3.3 HIGH VISIBILITY LOTS AND CORNER LOTS

- Corner lots require more attention to detail. Bungalows or bi-levels are preferred, however, all models will be considered if the design is appropriate.
- Side elevations facing the street, pathways and walkways require similar details to that incorporated on the front of the house.
- Jogs, built out rooms or cantilevers are required on the side elevation. A continuous horizontal eave across the entire side elevation will not be accepted.
- On corner lots, it is strongly encouraged that the primary elevation be on the side with the most street frontage.



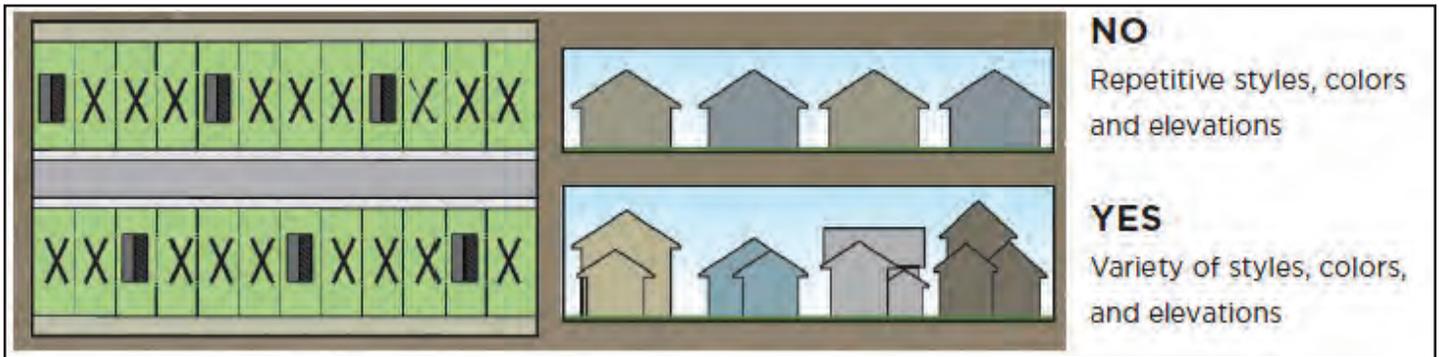
3.4 WALKOUT LOTS

Two storey full height flat elevations on lots with walkout basements will not be acceptable. The use of architectural styles; such as: down hill sloping roofs in combination with dormers, decks, variations in the rear wall planes, retaining walls, and grading; should be incorporated to break up the elevation.



3.5 REPETITION OF DESIGN

- Repetition of the architectural styles may be limited to ensure enough variation in the proposed streetscapes.
- Identical or near identical elevations and exterior colours may not be repeated more often than every fourth house on the same side of the street and every third house on the opposite side of the street.
- If the adjacent houses are too similar, the DRC will request the applicant to make design changes. There must be a significant change in the features, such as roof type, size and location of windows and doors, colours, and finish material. A change of materials alone and reversing the plan is not sufficient.



3.6 GABLES

- All visible gables must have upgraded detailing.
- At least one of the following architectural elements is required in gable ends on front elevation: shadow boards, shingle shakes, false trusses, brackets, vertical siding, board and batten.



3.7 ROOF DESIGN

- Roof lines are to be made as interesting as possible by means of variations of roof forms.
- Roof lines on lots requiring special side or rear elevation treatment should incorporate dormers, or gable ends with additional elements or details to add character to the house.
- Particular consideration as to color and material shall be given to the design and treatment of roofs because of their visual impact.
- The roof material for all houses is to be premium architectural asphalt shingles and composite products. No wood shakes will be allowed. All roof stacks must be enclosed and/or finished to complement the roof colour and exterior finish detail.
- Architectural asphalt shingles (IKO Cambridge shingles or better) or concrete tiles are acceptable roof materials. Bright blue, red, green asphalt shingles will not be permitted.
- Roof hardware (vent, stacks, flashing, etc) must be painted to match the colour of the roofing.

3.8 GARAGES

- The attached garage should reflect and complement the overall massing and proportion of the house and not dominate the streetscape.
- The garage location will be noted on the Garage Location Plan. Builders/Designers are to use the garage locations shown. If a side drive garage is chosen, the garage should be on the same side of the lot that was intended to be, it should not impede the views from the front to the neighbouring houses.
- If a triple car garage is used, at least one of the bays of the garage must be offset from the other bays. This offset should be a minimum of 2'-0" and the roof line on this bay should be offset to provide articulation and to enhance the overall garage design.
- Garages will generally be paired with the neighbouring houses unless noted otherwise on the garage location plan.
- Garages over 22'-0" wide are encouraged to use separate doors with staggered or jogged faces.

3.8.1 Living Area Over Garage

Living areas over the garage, otherwise known as "bonus rooms", will be encouraged. Builders/Designers will be asked to reduce the visual impact of the bonus room through the use of rooflines and battens.

3.8.2 Garage Projections

- In order to reduce the visual impact of a front drive garage, the front entryway or porch of the house should be brought as far forward as possible, without adversely affecting the interior layout of the house.
- The wall between the garage door and the front entry should not exceed 10'-0"; this will make the garage look like more of a part of the design rather than an addition to the house. If this distance is exceeded, the design must incorporate additional detailing along the garage wall such as a window, batten detailing or masonry.



3.9 FRONT PORCHES

- Porches are intended to provide a welcoming streetscape and promote a pedestrian-friendly environment. For houses with front attached garages, porches also help reduce the distance between the garage face and front entry thereby further enhancing the streetscape.
- All houses are encouraged to incorporate a front porch. Wrap-around porches on corner lots are encouraged.
- Porches must be an integral part of the house design and a prominent element of the front elevation for houses with no front attached garage.
- To ensure the functionality and correct massing of the house, a suggested minimum depth of 6'-0" will be required for all porches.
- The underside of the porch is required to be screened in with appropriate and complementary material such as: stone, brick, paneling, board and batten, or shake.
- All vertical surfaces of wood are required to be stained or painted.



3.10 EXTERIOR STAIRS

- Front elevations with more than five exterior stairs will not be accepted without specific approval. Additional stairs must be inside.
- All front entry stairs are encouraged to be made of composite materials or concrete. Pressure treated wood may be permitted if it is painted or stained.
- All front entry stairs must have with closed risers.
- All vertical surfaces of wood are required to be stained or painted.

3.11 RAILINGS

- Front porches and rear decks should have railings.
- Acceptable front railing materials include: wrought iron, aluminum pickets, or glass pane.
- Acceptable rear railing materials include: wrought iron, aluminum pickets, glass pane, pressure treated wood, or cedar.

3.12 POSTS AND COLUMNS

- All posts or columns must be boxed out in a decorative material and incorporate an architectural base finish.
- All post or column bases must be a minimum size of 12"x12" wide.
- Selected base finish must be 3'-0" in height, measured from grade or top of the porch.
- Minimum columns are to have an 8" top and bottom cap, with relief panel and trim.
- Appropriate architectural base finish materials include: stone, stucco, or smartboard panel.



3.13 WINDOWS

- The design pattern of windows is very important to the facade of the house. Windows should be sized and located according to the overall scale and design of the house.
- Consideration should also be given to providing privacy to adjacent lots and to minimize oversight into other yards.



3.14 CHIMNEYS

- All chimneys and furnace flue pipes must be boxed in.
- Vents that are visible from the street or park shall be painted to blend with the wall cladding colour.

4.0 Building Materials

4.1 WALL MATERIALS

- Acceptable siding materials include: smooth finish acrylic stucco, cement fibre board, vinyl siding, natural stone, manufactured stone, stone tile, or brick.
- At least two materials of the front elevation is required to create visual interest other than horizontal vinyl siding (ie: board batten, smartboard, wood shingle/ shakes, cement fibre products etc).
- Any masonry application must ground the house and act as a structural element. Masonry return must be at least 2'-0" around the corners.
- The bottom edge of the wall cladding must be adjusted so that a maximum of 2'-0" feet parging is exposed on all elevations.
- Any product or manufacturer not specifically mentioned in this document must be reviewed on an individual basis to ensure compatibility with the intent of these guidelines.
- Builders/Designers using colour materials not readily available to the Architectural Review Consultant will be required to submit a sample for approval. (Refer to **Section 6.6 Nearly-Identical Siding Colours.**)



4.2 WINDOWS, TRIM, FASCIA, AND SOFFITS

- Trim is required on all openings on all highly visible elevations.
- Trim must be of a contrasting colour from the main body colour of the house.
- Trim should be a minimum of 4" battens wide on visible elevations.
- Trim shall be of composite materials such as smartboard or an approved equivalent material. Vinyl or treated wood will not be accepted.
- Corner boards will be required on all front elevations and exposed elevations.
- Eavestrough colours are to match the fascia colour.
- Open soffit are permitted where detailing such as false trusses are incorporated in the design.
- Shadow boards or cornices, if incorporated in the design, should be used in all open gable ends where the wall meets the soffit on all elevations.

4.3 ENTRY DOORS

- Entry doors should complement the architectural style of the house and be the primary element of the front elevation; a standard panel door will not be permitted.
- Entry doors should have glazing and/or sidelights and/or transom windows.
- Upgraded fiberglass doors with a natural appearance or a real wood door will be permitted at the discretion of the DRC and may be approved without the requirement of glazing.
- Entry door style must be shown on plans.

4.4 GARAGE DOORS

- Garage doors over 8'-0" in height must include windows.
- Garage doors are not to exceed 9'-0" in height and 20'-0" in width unless authorized by the Architectural Design Review Consultant.
- Garage doors should be carefully considered to reflect the style of the house and complement the house's main body colour, trim, and building materials.
- Garages doors are encouraged to utilize vertically proportioned panels and raised trim.
- Additional space above the garage door to the eaves line (more than 18") will have to be justified and treated with an architectural feature.
- Identical or near identical garage doors are not encouraged to be side by side, there must be at least one house separation if possible.
- Garage door specifications are to be at minimum Clopay Gallery Collection and Carriagecraft CC-10/CC-16 (from Red Deer Overhead Door) or approved equivalent from another supplier.
- Garage door details must be shown on each house plan.



4.5 EXTERIOR COLOURS

- The DRC must approve all exterior colour schemes.
- Contrast between adjacent houses is encouraged and nearly identical colours should be avoided.
- Each house is permitted to have one secondary colour that complements the main body colour of the house. Secondary colours or materials should contrast the main body colour of the house as it will become a focal point of the facade.
- Builders/Designers using colour materials not readily available to the Architectural Review Consultant will be required to submit a sample for approval. (Refer to **Section 6.6 Nearly-Identical Siding Colours.**)

5.0 Approval Procedure

5.1 SUBMISSION PROCEDURE

Builders/Designers are required to submit documentation to the DRC to review and approve prior to submitting to Red Deer County. Builder must submit approved stamped plans when submitting for a Development Permit and Building Permit to Red Deer County. Conformity with these Guidelines does not supersede the required approval process of Red Deer County, which include the appropriate permits to construct the house and inspections. The DRC reserves the right to make exceptions to these guidelines where it is considered appropriate.

The Builder must submit for Architectural Control Approval an electronic PDF format copy of the following information to the DRC at www.lamont.lotworks.ca

Applications are required to include the following documents.

1. Architectural Design Review Application Form:

- Manufacturer and color finish of all exterior materials shall be listed on the application form and any other information as relevant or requested by the Developer.

2. House plans delineating:

- Exterior Building Elevations - Views of all typical building surfaces must show architectural detailing, materials, colors, finishes and any other visible features.
- Elevations shall indicate proposed grade lines and be at a working scale.
- Building Floor Plans - All floor plans shall show room, window and door locations.
- Plot Plan indicating dimensions and grades of front, rear, and side setbacks.

The DRC will review the plan and recommend approval, modification, or rejection of the application based on the adherence of the plans to these Guidelines. This decision should be made within three business days of submission. Should dispute arise, the Developer shall make the final decision on the acceptable plans.

5.2 ON-SITE DESIGN VERIFICATION

An on-site review of materials used in the construction of the project will be undertaken by the DRC to verify conformity to the approved design. Failure to construct without conforming to the approved architectural finishes may result in the forfeit of the deposit by the Builder as well as potential conflicts in final approvals by Red Deer County.

To initiate this review, the Builder must submit request for on-site verification by website at www.lamont.lotworks.ca

The DRC will then schedule a site visit to verify adherence to the approved applications. Any deviation will be brought to the Builder's attention along with the measures that the Developer requires to mitigate or eliminate the noted deviation.

Approval of the on-site verification, will be at the sole discretion of the Developer whose decision will be final.

6.0 Construction Regulations

6.1 SITE INSPECTION BEFORE CONSTRUCTION

Before construction, every Owner/Builder must inspect the condition of the local infrastructure installed by the Developer (including water valve, sewers, curbs, sidewalks, roads, street lights, fencing, etc.) in order to determine if any damage has occurred. Warn in writing of any damage immediately on www.lamont.lotworks.ca, otherwise, the costs of the repair of damages will be the responsibility of the builder.

6.2 MATERIAL AND EQUIPMENT STORAGE

- Builders/Designers will be allowed to store their materials and equipment on site during construction, but may not store on adjacent or any other house site.
- All material must be stored in an organized manner and must be covered to ensure site cleanliness.
- Builders/Designers must ensure that they do not trespass or disturb any other properties.
- Concrete trucks may only clean chutes on the lot they are delivering to.

6.3 USE OF SITE

- Construction debris and waste must be contained on site each day and removed at the end of the project.
- Debris may not be burned, dumped, or buried anywhere on site at any time.
- The contractor shall be responsible for controlling dust and noise in the construction site.
- If any damage is done to other properties, open space, roads, driveways etc., it must be repaired and restored immediately at the expense of the person causing the damage.
- Upon completion of construction, each Builder shall clean the construction site and repair any damaged property including, but not limited to, restoring grades, repairing streets, driveways, pathways, drains, culverts, ditches, signs, lighting, landscaping and related watering systems, fencing, and other improvements or utilities.
- The builder shall take all necessary measures to prevent tracking of sediment and mud onto the public right-of-way. The builder is required to clean any sediment and mud on the right-of-way in front of their lot after everyday.

6.4 VEHICLES AND PARKING

- Utility trailers, etc. may be parked on site only during the time of construction. These are parked at risk of the builders.
- Vehicles shall be parked so as not to damage any landscaped and/or constructed areas.

6.5 OTHER

- Erosion control is the responsibility of the Builder during construction.
- Builders/Designers are to ensure that sites are only accessed via provided entries.

6.6 NEARLY-IDENTICAL SIDING COLOURS

To ensure strong variation in colour between houses, the following colours will not be permitted within four lots of each other. Colour groups considered to be nearly-identical are:

- Granite - Windswept Smoke - Charcoal Smoke
- Pebble Clay - Pebble/Kaki - Kaki - Canyon Clay
- Clay - Terra Clay - Flagstone
- Harvard Slate - Storm
- Ironstone - Iron Ore
- Hickory - Autumn Ash
- Wicker - Brownstone - Sand

7.0 Discretion

Notwithstanding anything set out in these guidelines, the Developer and the DRC may apply their respective judgments when considering and approving anything regulated or controlled by these guidelines. In so doing, the Developer and the DRC may provide waivers of or relaxations to any matter set out in these guidelines in their sole and absolute unfettered discretion.

7.1 NO RIGHT TO ENFORCE

Only the Developer may enforce the guidelines; no purchaser of a lot in Liberty Landing may enforce these guidelines.

7.2 RIGHT TO AMEND

The Developer may amend these guidelines as it sees fit in its sole and absolute unfettered discretion.

8.0 Environmental Guidelines

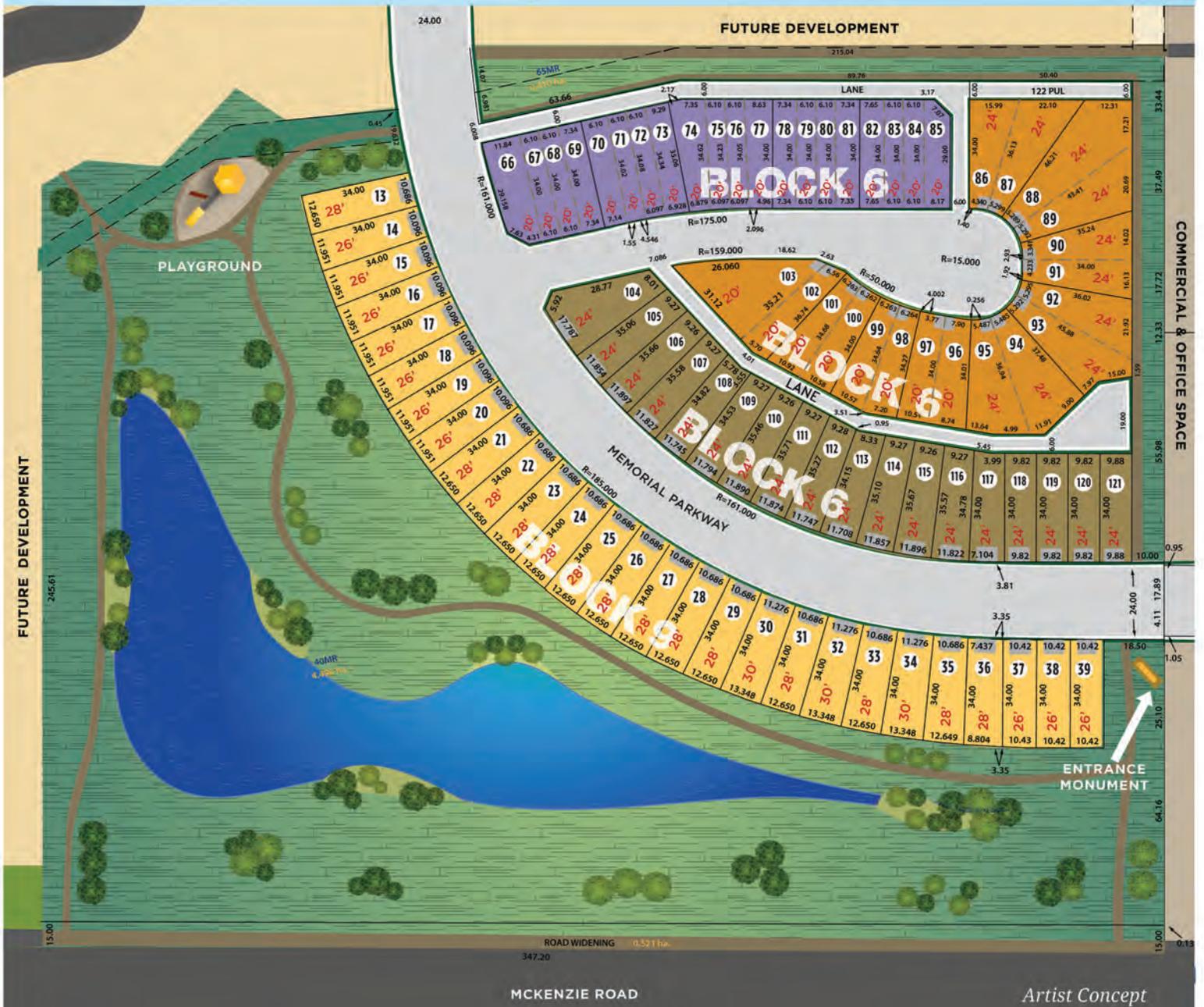
8.1 BUILT GREEN

While not required, the Developer encourages all Builders/Designers to follow Built Green principles:

- Builders/Designers are encouraged to build to a minimum Built Green Certification level of Bronze.
- Houses should utilize Energy Star materials and products whenever possible.
- Houses should use low-flow toilets and water conserving faucets.
- Architectural planning and design should take full advantage of energy efficiency (i.e. natural heating and/or cooling, sun and wind exposure, solar energy properties, etc.)

Appendix A Phase 1 Marketing Plan

LIBERTY LANDING



FUTURE DEVELOPMENT

FUTURE DEVELOPMENT

COMMERCIAL & OFFICE SPACE

ENTRANCE MONUMENT

MCKENZIE ROAD

Artist Concept

Map Legend

- | | | |
|-------------------------------------|--------------|---------------------------|
| Front Attached Single Family Homes | Town Homes | Water |
| Detached Garage Single Family Homes | Walking Path | Commercial & Office Space |
| Duplexes | Driveway | Future Development |
| | Road | |



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